



City of Pismo Beach Administrative Design Guidelines for Additions to Single-Family Homes

These design guidelines augment the design direction provided in the Pismo Beach 1983 and 1998 Zoning Codes. This policy memo identifies general and specific design guidelines for additions to single family homes in any zoning district. These guidelines apply but are not limited to second story additions, garages, accessory buildings or stand alone structures adjacent to existing development. In general:

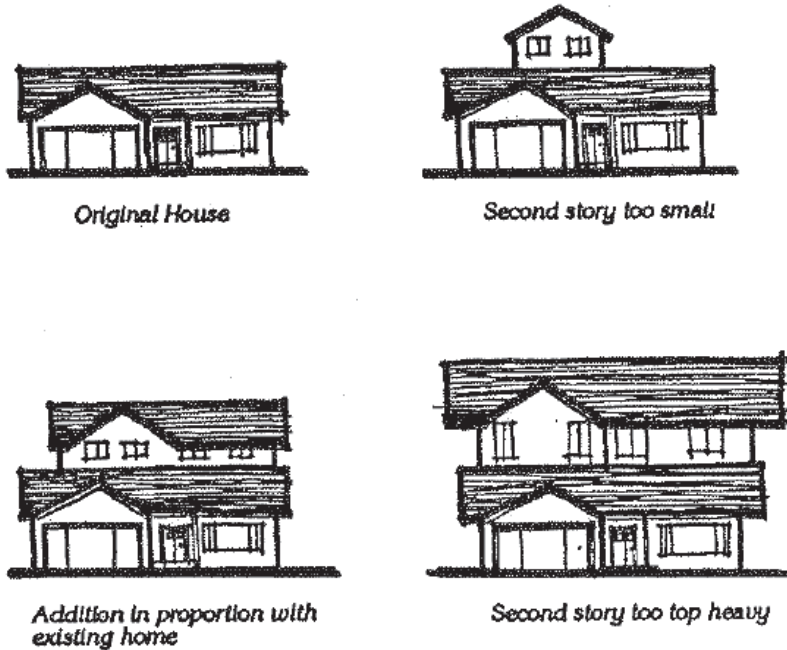
- 1) Additions shall appear to be compatible with the design and form of the existing structure and must complement and not detract from any portion of the home in public view.
- 2) No addition or portion of an addition, except for second floor living space may project above the roofline on an existing structure with the exception of roof top deck railings so long as the roof top deck is integrated into the roof. Access to roof decks is limited to interior of a structure or an exterior stairway in a rear or side yard not visible from a public or private street, park, or any private property within 100 feet of the subject site.
- 3) Porch like structures, design doorways, columns, overhangs, and other architectural elements shall act as complementary features to existing development and they shall be integrated into the architecture of the structure.
- 4) Additions to existing buildings must consider the overall form of the resulting building. Additions shall not mix styles or introduce incongruous design elements.
- 5) Massing volumes consistent with the original building is required.
- 6) Second story additions must be articulated such that not all exterior faces of the second story walls are directly above the first story walls.
- 7) Complementary materials, textures/finishes and colors and finishes for exterior facades are required. Examples include:
 - window types that are similar in size, shape, and proportion to original building windows
 - consistent roof materials and roof forms
 - consistent doors, openings, stairs and decks

More specifically, the guidelines on the following pages provide direction related to:

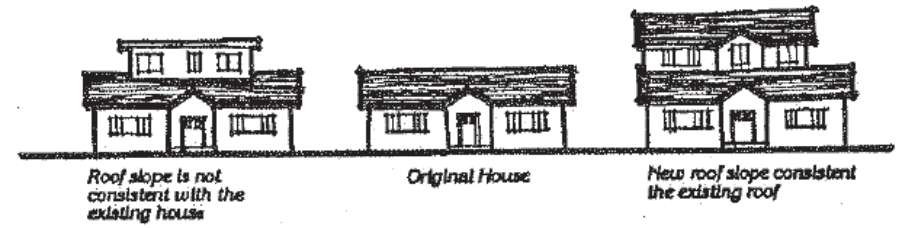
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|---|-------------------------|----------------------------|
| A. Integration of Additions with Existing Homes | C. Scale and Mass | G. Building Materials. |
| B. Relationship to Adjacent Homes | D. Surface Articulation | H. Architectural Elements. |
| | E. Building Orientation | |
| | F. Garage Placement | |

A. Integration of Additions With The Existing Home

1. The design of the addition should be consistent with the original home. This means that materials and architectural elements are used in a consistent manner.
2. Integrate second story additions into the overall design of the house. The addition should look like an original part of the house design.



3. The rooflines of the addition should be compatible with the roof slope of the existing house.

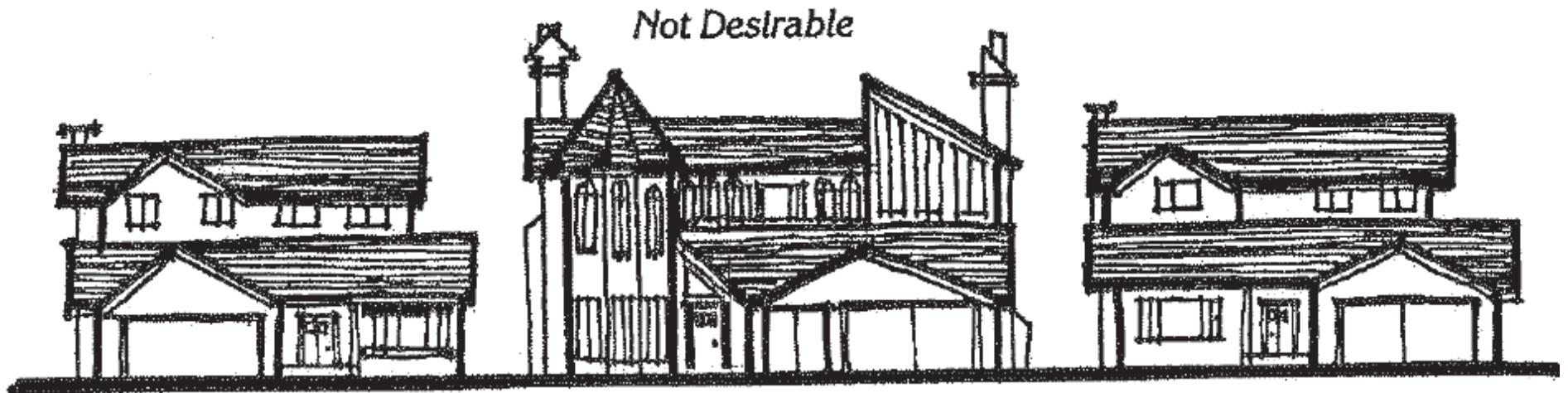


4. Exterior materials of a proposed addition should match or be compatible with the materials used on the remainder of the structures on the site.
5. New windows and other architectural elements should be compatible with the style, shape, pattern, materials, and color of the original architectural elements. If all the windows are being replaced, the new windows should be compatible with the architectural style of the home.

B. **Relationship To Adjacent Homes.** The overall design of the home should be visually compatible with the adjacent homes.

1. When completely replacing the exterior materials, use exterior materials compatible with homes in the surrounding area.

2. Entry features, such as front doors and porches, should be visible as viewed from the street. High walls and fences that block entry features should be avoided.

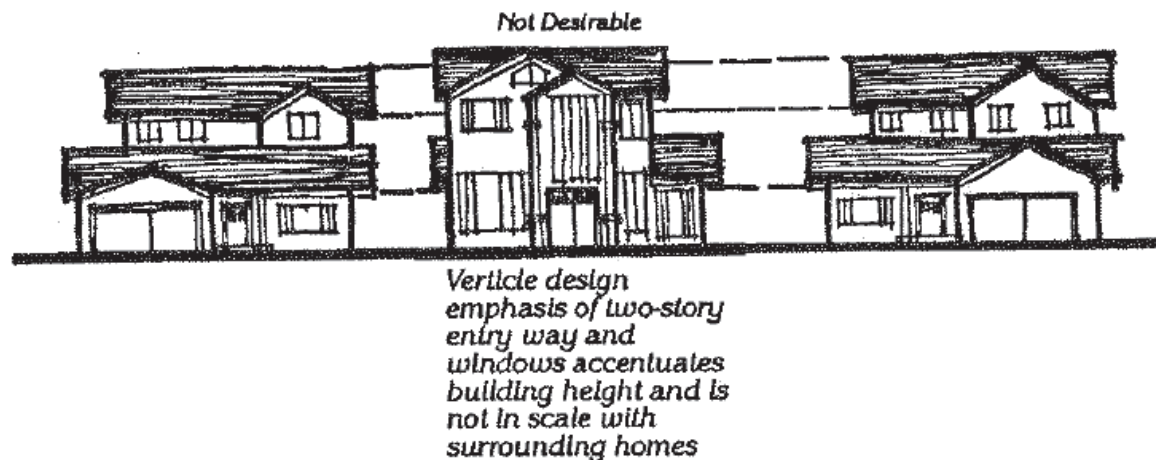


- *Architecture out of context with surrounding area.*
- *Mixes elements from different architectural styles such as:*
 - *roof styles*
 - *chimney element*
 - *turrets*

C. **Scale and Mass.** Building scale refers to the proportional relationship of a structure in relation to objects next to it, such as other buildings or people. Building mass is the size of a structure.

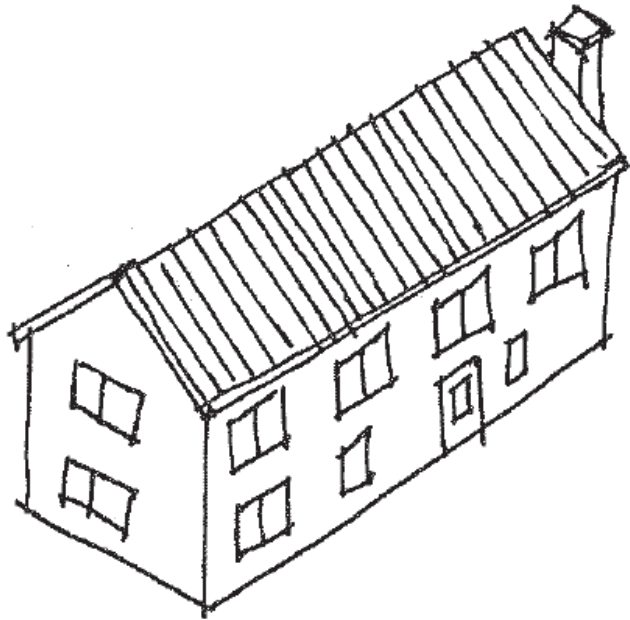
1. The perceived scale and mass of a proposed addition to an existing home should be of a similar shape and form as those in the original house.

2. The perceived scale and mass should also be compatible with homes in the surrounding area. Minimize the use of design features that accentuates the size of the home so that it does not appear significantly larger than adjacent homes.



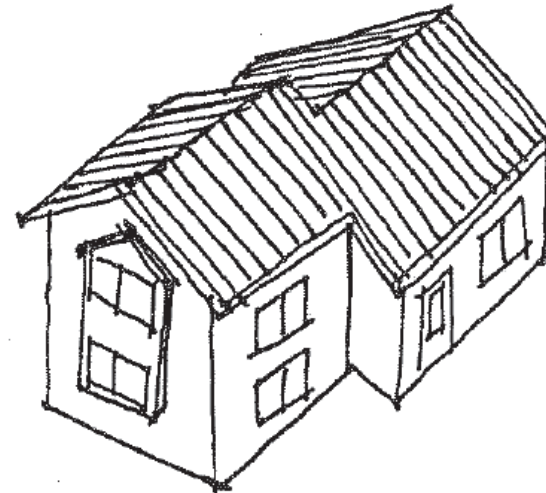
D. Surface Articulation (Changes Within Wall and Roof Planes). Homes should be designed with relief in building facades. Long unarticulated wall and roof planes should be avoided, especially on two story elevations

1. Changes within the wall and roof planes can be accomplished when one of the forms is setback several feet or when a gable end fronts the street, and through the use of porches that run across the front of the house.



Long Unarticulated Massing

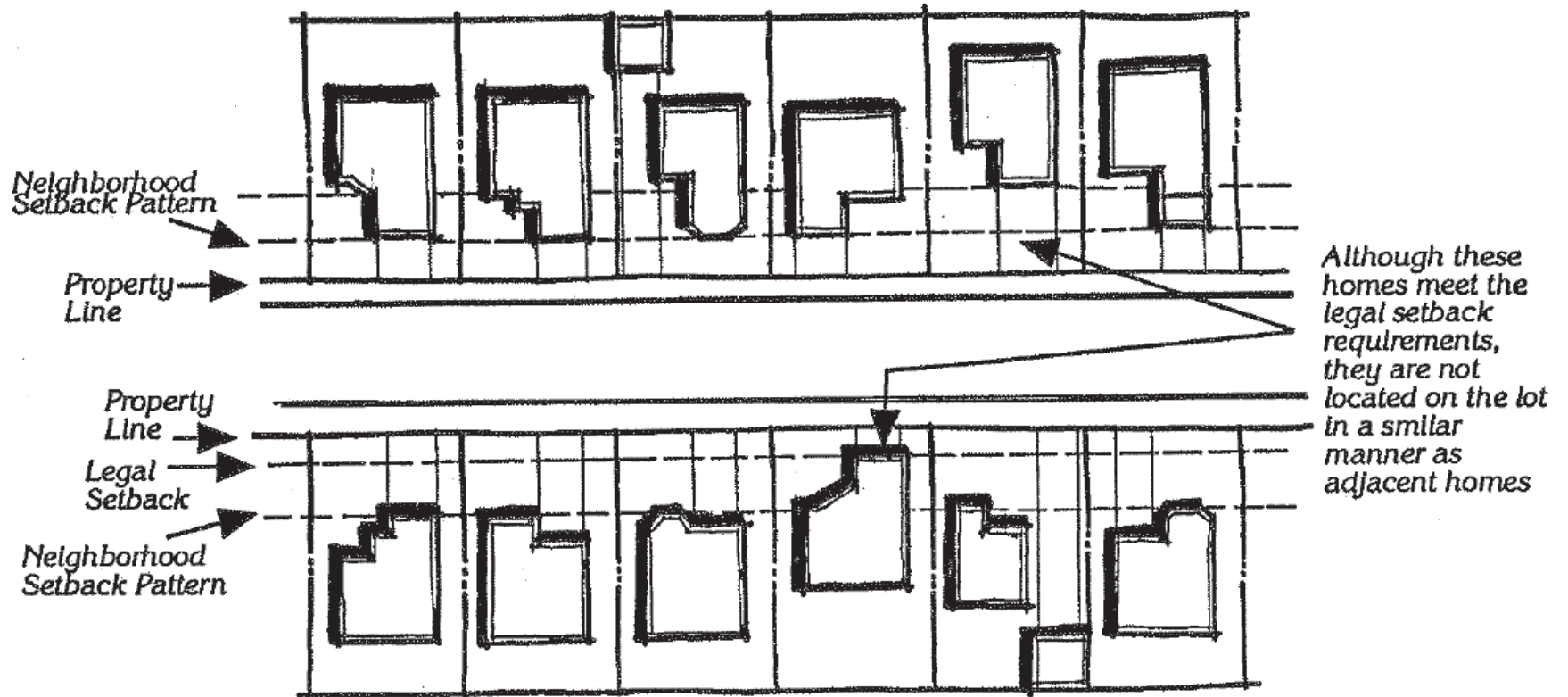
2. Changes within the wall and roof planes can also be accomplished through the use of various materials and textures. This is seen in the use of horizontal wood lap siding, wood trim around windows and doors, and shingle textures on the roofs.



Articulated Massing

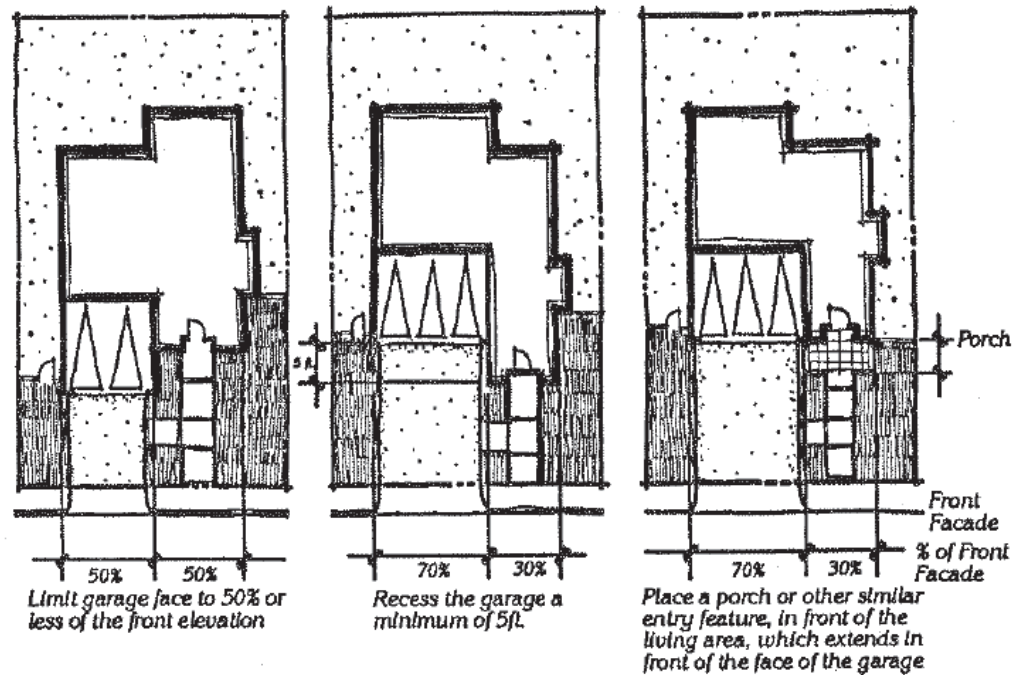
D. Building Orientation.

1. Houses should have visible front entryways oriented toward the public street. Rear property lines should not be oriented toward public streets (except homes along streets classified as arterials).
2. Locate the home on the lot in a similar manner as adjacent homes within the current setback requirements.



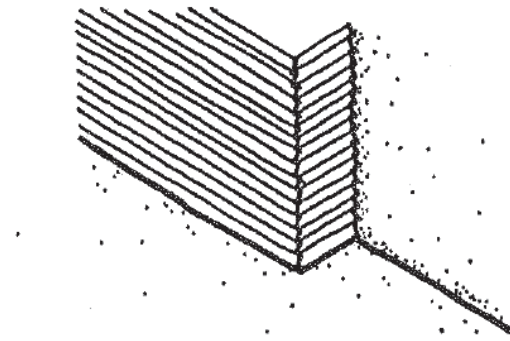
E. **Garage Placement.** The living area of homes should be the most prominent feature of the front façade. To reduce the prominence of garages, house designs should incorporate at least one of the measures below:

1. Garages placed in front of the house should not exceed 50% of the linear front elevation with the remainder of the elevation devoted to living area or porch.
2. Garages exceeding 50% of the linear front elevation should either:
 - a. Recess the garage from the front wall of the house a minimum of five feet.
 - b. Provide an entry porch or trellis extending in front of the face of the garage.
3. Orient the entry to the garage away from the street.
4. Other similar features as approved by the Community Development Director.

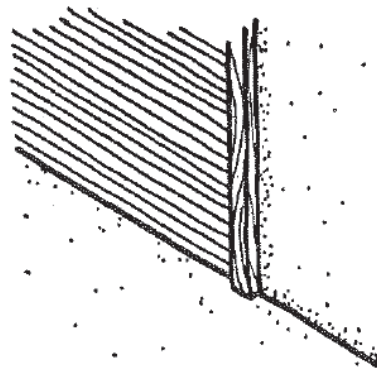


Design features to reduce the prominence of garages

F. **Building Materials.** Building materials should be consistently applied and shall be harmonious with adjacent materials. Changes in materials or colors should not occur on the same wall plane. Piecemeal and frequent changes in materials should be avoided.



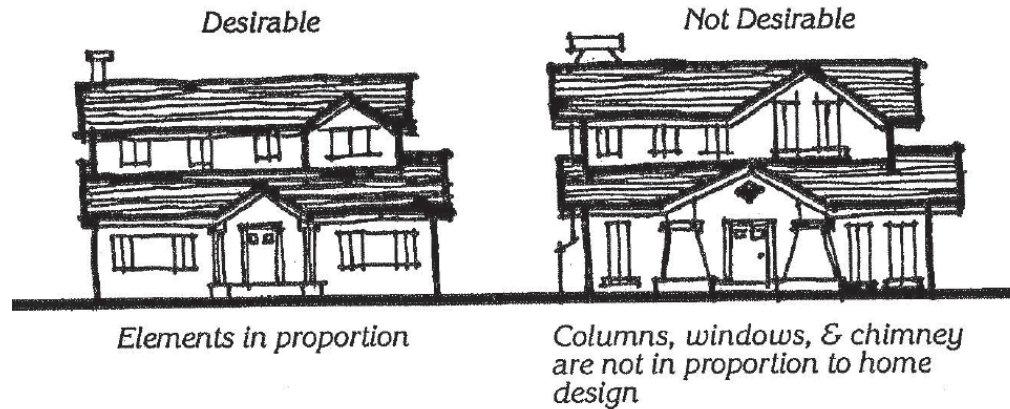
Change of materials or colors should occur with changes in wall plane



Change of materials or colors should not occur on the same wall plane.

G. **Architectural Elements.** The architectural elements of building include building opening, doors, windows, and architectural features such as roof elements, columns, and dormers.

1. Architectural elements within the design should be in proportion to the overall home design.



2. Architectural elements should also be balanced on the building elevation. This can be accomplished by vertically and horizontally aligning the elements.

